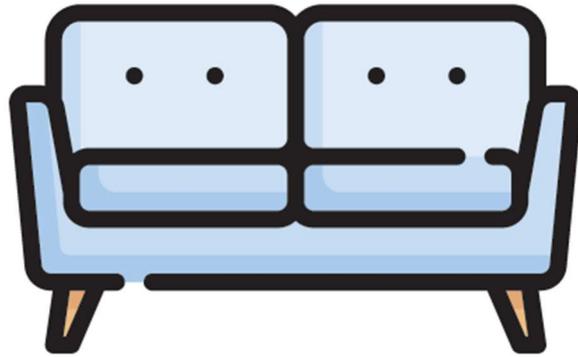


COUCH MOUNTAIN



Design Guidelines

Revised 2/1/2022

TABLE OF CONTENTS

INTRODUCTION

- 2 Vision
- 2 Philosophy

DESIGN REVIEW PROCESS

- 3 Creating a Team
- 3 Design Review Steps
- 4 Construction Schedule
- 4 Fees & Deposits
- 4 Variances
- 4 Design Review Committee Meetings
- 4 Enforcement & Penalties

SITE DESIGN

- 5 Grading
- 5 Setbacks
- 5 Construction Area
- 6 Tree Preservation
- 7 Clearing & Pruning for View Enhancement
- 7 Individual Septic Systems
- 7 Individual Water Wells
- 8 Erosion & Sediment Control
- 9 Stormwater Management
- 10 Driveways
- 11 Retaining Walls
- 11 Fences
- 12 Site Features
- 12 Landscape Screening
- 13 Planting

ARCHITECTURAL PATTERNS

- 14 Design Concepts
- 14 Features Responding to the Site
- 15 Building Size & Height
- 15 Color
- 16 Exterior Materials
- 18 Roofs
- 19 Garages
- 19 Accessory Structures

- 20 Porches, Decks & Railings
- 20 Exterior Lighting
- 21 Precedent Images

GREEN BUILDING PROGRAMS

- 24 Green Built North Carolina
- 24 Energy Star
- 25 LEED

APPENDIX A - NATIVE PLANT LIST

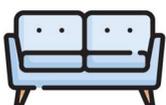
- 26 Large Trees
- 26 Small Trees
- 26 Low Shrubs
- 27 Mid-Size Shrubs
- 27 Large Shrubs
- 27 Vines
- 27 Ferns
- 27 Native Grasses & Sedges
- 28 Ground Covers
- 28 Perennial Wildflowers

APPENDIX B - FORMS

- 29 Concept Review
- 30 Application and Preliminary Design Submission
- 32 Final Design Submission
- 35 Owners Acknowledgements
- 37 Application for Approved Builder
- 38 Builder Insurance Requirements
- 39 Affidavit of Builder Qualifications
- 40 Builder Affidavit of Understanding
- 42 Fines for Non-Compliance Items
- 43 Final Landscape Plan
- 44 Plan Review Variance Request Form
- 45 Inspection Checklists
- 50 Change Request Form

CONSTRUCTION GUIDELINES

- 51 Who is Responsible
- 51 Basic Rules
- 55 Utility Easements



INTRODUCTION

VISION

Perched on an upland plateau, approximately ten miles south of Asheville, North Carolina and six miles north of Hendersonville, North Carolina is a unique upland mountain community known as Couch Mountain. This elevated two-hundred-acre tract of land offers stunning views of the Fletcher Valley to the north and expansive long-range views into South Carolina to the south. The average slope of the developed portion of Couch Mountain is only 30%, which makes for some incredibly easy, buildable homesites. Couch Mountain has been planned and designed as a low density, low impact community which simultaneously protects and celebrates its many unique natural features. Great care was taken to preserve 120 acres of Couch Mountain in perpetuity. An intricate network of thoughtfully designed and maintained trails meander throughout this extensive nature preserve. When combined with the community gardens and numerous public gathering areas, this planned community provides owners endless opportunity to focus on their mental and physical wellbeing. Couch Mountain is a place to escape, a place to rejuvenate and a place to proudly call home.

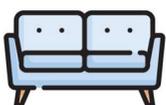


PHILOSOPHY

The philosophy for creating a home in Couch Mountain is to minimize the impact of building on the surrounding landscape. Emphasis is placed on the quality of the site work, architectural design, construction materials and landscaping of the individual homesites. To support this belief these Design Guidelines have been created to help owners, builders, and architects to achieve the best possible home for themselves as well as for the land and surrounding community. Several key principles that are incorporated into the following guidelines are to:

- Create continuity of design and quality within the community
- Preserve the natural beauty of the existing landscape
- Define appropriate architectural styles
- Use appropriate landscaping and plant types
- Blend with the surrounding landscape through appropriate material use and color palette

Educate owners of green building programs related to architectural and site design



DESIGN REVIEW PROCESS

CREATING A TEAM

A critical first step in the design process is the assembly of a creative and effective design team. Generally, the design team will consist of at least a licensed architect, a licensed landscape architect, and a builder. These team members will contribute throughout the design process and will assist with the review process as described below. Because all homes in Couch Mountain are designed for the unique site in which they are built, coordination between these different perspectives is crucial to the overall success of the project.

DESIGN REVIEW STEPS

All construction projects in Couch Mountain are submitted to the Design Review Committee (DRC) for review and approval. This includes improvements to existing homes including fences, porches, accessory buildings and landscaping. There are three on site meetings required for a design to be approved and for construction to commence.

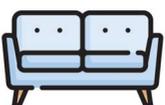
The Design Review Process consists of four primary steps. These include:

STEP 1: CONCEPT REVIEW* - The Concept Review is established to ensure that an initial design concept is on track with the intent and requirements of these Guidelines. The Concept Review occurs on site with the owner's design team, the owner, and members of the DRC as early as possible in the design process. The DRC will look at the overall site plan with its topography, trees, home footprint and orientation, driveway location and approach, and neighboring homesites. For architectural review at this stage, rough sketches and inspiration images are ideal to convey a sense of the style and size of the home being planned. Highly detailed plans are not needed at this point, and they are actually discouraged, as design modifications become more difficult as a design advances.

STEP 2-A: APPLICATION & PRELIMINARY DESIGN SUBMISSION*- At preliminary design submission, all the major elements of the home and site plan should be incorporated into the overall draft design. This includes the house and any other structures, the driveway, stormwater management, septic location, etc., all shown to scale on a topographic plan of the site that identifies the location of trees over 6" in diameter. Like the concept review, the Preliminary Design Review is an on-site meeting with the owner, the design team, and the DRC.

STEP 2-B: BUILDER APPROVAL*- All builders must obtain approval to build from the DRC. If a builder has already been approved by the DRC, no further application is required.

STEP 3: FINAL DESIGN SUBMISSION*- Once designs are completed, incorporating the guidance and recommendations of the DRC from the preliminary design review, they can be submitted for final review. Material and color samples will be brought to the review along with copies of the site plans, house plans, and elevations. This review occurs onsite with the design team, builder, owner, and DRC. Upon approval of the final design submission, the builder can obtain a building permit and commence construction.



STEP 4: FINAL LANDSCAPE PLAN*- As construction on the home nears completion, a final review of the landscape plan is required. This final plan should indicate any phased approach to plantings due to optimal planting times or seasonality in the implementation of the plan.

**The requirements for each step of the Design Review Process are outlined in detail in the Appendix B of these Design Guidelines.*

CONSTRUCTION SCHEDULE

Construction must begin within 12 months of the final DRC approval date. DRC approval expires after 12 months and projects must resubmit for re-approval. Resubmittal fees may apply. If construction inactivity reaches 90 days, the DRC will request explanation of inactivity and potential forfeit of builder deposit and/or weekly fines may apply. Construction projects must be completed within 18 months of their start unless an extension is approved by the DRC.

FEES & DEPOSITS (SEE APPENDIX B)

- Application Fee: \$2,000 – This will be used to pay for outside design professional consultants to the DRC.
 - Refundable Builder Deposit: \$7,500 - This will be used to cover any builder penalties as described in the Non-Compliance and Penalty section of these Guidelines.
 - Non-Refundable Construction Impact Fee: \$2,000. This will be used as needed for road repair due to construction activities. These funds will be held in the Association’s account and shall be used specifically for the repair of roads and common areas.
 - Additional design review fees may be applied if additional reviews are required by the DRC due to incomplete or non-conforming submissions.
-

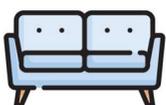
VARIANCES

The DRC may approve variances to these guidelines, on a case-by-case basis, should it be warranted due to site conditions, unique architectural considerations, to enhance views, or to promote better privacy. Such case-by-case approval shall not set precedents for future applications.

DESIGN REVIEW COMMITTEE MEETINGS

- Meetings will be monthly on the 4th Friday at 3:00 pm or as otherwise established at the discretion of the DRC. Submittals are due two weeks prior to give the DRC sufficient time for review.
 - If no response is given to submitted plans for construction within 45 days of submittal, then submitted plans will be considered approved.
-

ENFORCEMENT AND PENALTIES – SEE APPENDIX B FOR MORE DETAIL



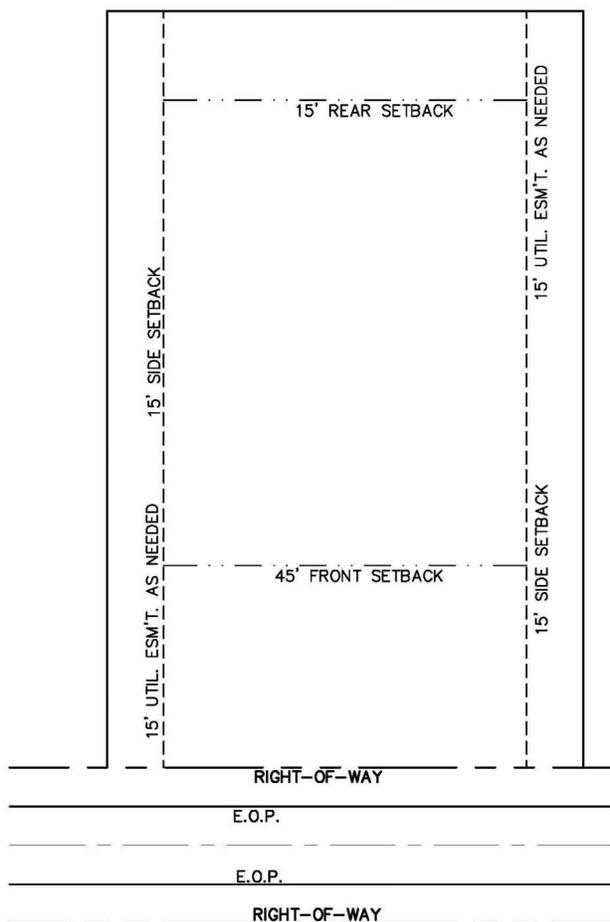
SITE DESIGN

GRADING

Homeowners and their design team shall consider the existing topography and proximity to surrounding dwellings when developing the design. Wherever possible, homeowners shall site homes and improvements in a way which minimizes impacts to the property.

The following site grading parameters should be followed:

- The use of low walls is encouraged over the use of large, graded slopes to minimize disturbance to the existing vegetation and topography.
- Graded slopes shall be stabilized immediately with mulch or other erosion control measures and planted within 30 days from completion of site construction.
- No single retaining wall shall be constructed over eight (8) feet in height.



SETBACKS

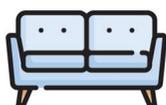
House and accessory structure foundations must be built within the minimum building setbacks, as described below. On a case-by-case basis, the DRC may choose to grant a variance to the Front Yard Setback due to topographic restraints :

- Front Yard Setback - 45 feet
- Side Yard Setback - 15 feet
- Rear Yard Setback - 15 feet

Front setbacks begin from the right-of-way.

CONSTRUCTION AREA

For the purposes of this document the Construction Area is defined as the overall area which is impacted by the construction of the home and any improvements. Improvements include but are not limited to accessory structures, septic fields, and driveways.



TREE PRESERVATION

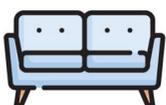
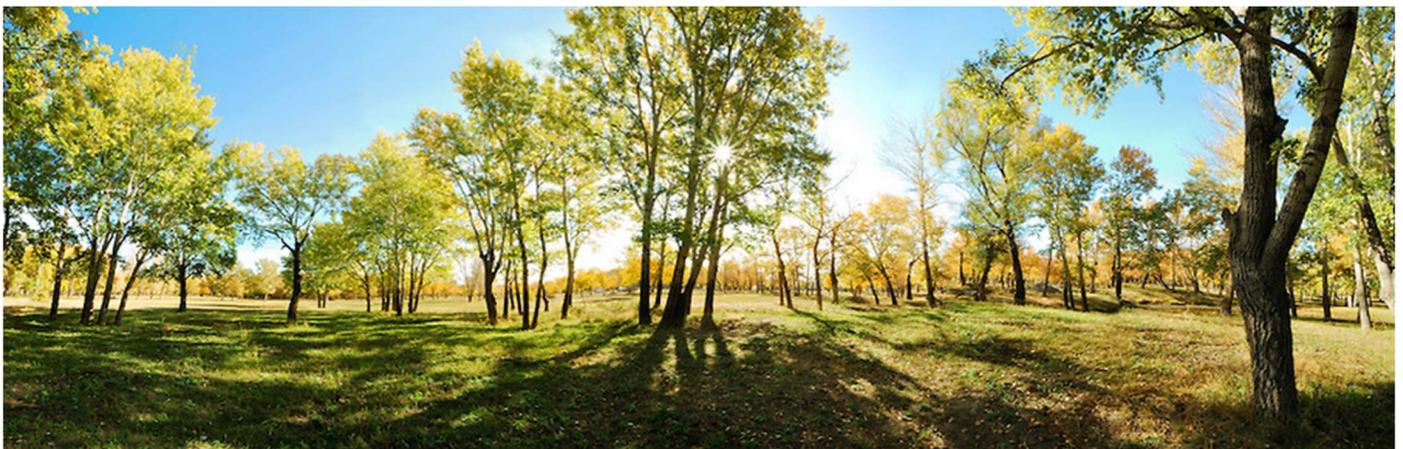
Preservation of existing trees is a high priority at Couch Mountain. Throughout Couch Mountain, there are specimen trees which should be preserved if at all possible. There will inevitably be trees that will not be able to be preserved, but thoughtful house placement, low-impact site design and conscientious construction site management should be used to preserve established, healthy trees whenever possible.

As part of the Preliminary Design Submission, a Tree Preservation Plan must be prepared which shows existing trees to be preserved within 30' of the proposed Construction Area and tree protection measures for the project. Owners are strongly encouraged to consult a professional arborist when evaluating a tree's health and its ability to withstand construction impacts.

For trees identified to be preserved which are located near the proposed construction site, the following tree protection measures should be followed:

- Install tree protection barriers to prevent direct damage to the tree by heavy equipment. Fencing should be installed at a radius of 1.50 feet away from the trunk of the tree for every inch diameter.
- Reduce soil compaction by prohibiting vehicular traffic and the storing of construction materials in the root zone.
- Do not add more than 3" of well-draining topsoil in the root zone.
- Avoid soil cuts and trenching in the root zone. Utility installations should avoid root zones altogether or be tunneled under the root system.

Trees that are dead, diseased, or a hazard to people or property may be removed upon DRC approval. Tree removal must be done in a manner that does not cause damage to the surrounding trees or native landscape. In order to limit the destabilization of the surrounding forest, trees should be cut down rather than pushed over.



CLEARING AND PRUNING FOR VIEW ENHANCEMENT

Obtaining a view is important to Couch Mountain owners, but it must be done thoughtfully. Trees may be cleared or pruned so as to improve a view corridor. The following criteria shall be considered when contemplating clearing for a view:

- Limbing and pruning of trees is strongly encouraged as an alternative to removal of any tree.
- Trees shall not be topped.
- Any plant material which is less than 4" DBH may be removed from the homesite. However, the removal of trees and vegetation from within the setbacks is strongly discouraged.
- 20% of trees with 4" to 8" DBH which are located outside of the Construction Area may be removed from any homesite with written approval from the DRC.
- 10% of trees with 8+" DBH which are located outside of the Construction Area may be removed from any homesite with written approval from the DRC.
- No clearing of trees which are 4" or greater DBH is permitted without written approval from the DRC.
- Owners who remove trees greater than 4" DBH without DRC approval will incur fines as stated in the Penalties section of these Guidelines.

The DRC strongly encourages owners to mill the timber which has been removed from the property. This site-sourced lumber can be incorporated into the construction of the home and improvements.

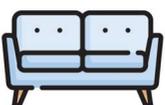
INDIVIDUAL SEPTIC SYSTEMS

Each homesite will be served by an individual septic system. There are two types of septic permits which are provided by Henderson County Department of Health and Human Services. These include:

- Improvement Permit (IP) for septic system permitting: An IP is generally obtained prior to the sale of a property to provide the buyer with assurance of the lots suitability for a septic system. An IP is not intended for construction and is not always indicative of the final septic system, or house site location.
 - Construction Authorization (CA) for septic system permitting: A CA is applied for and obtained prior to construction of the home. The CA will identify the exact location and type of septic system required. It is designed based on the final house location and size (i.e., number of bedrooms). No construction of the septic system or house shall occur until an owner has obtained a CA permit.
-

INDIVIDUAL WATER WELLS

Each homesite will be served by an individual water well. It is the responsibility of the Owner and their design team to determine the location of the water well. The well shall be concealed by a "well house" which matches the architectural aesthetics of the overall home. Imitation rock covers and other mass-produced covers shall not be permitted.

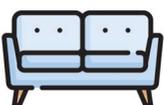


EROSION & SEDIMENT CONTROL

Builders and homesite owners shall utilize sediment and erosion control measures that prevent stormwater runoff from entering streams, creeks, other water bodies and neighboring properties. During construction, the following erosion control measures, at a minimum, shall be followed:

- **PREVENT EROSION:** Disturbed slopes over 15% shall be stabilized with straw mulch, erosion control blankets, or a comparable measure until permanent vegetation is re-established.
- **MANAGE SEDIMENTATION:** Silt fences shall be installed within 5 feet of the limit of disturbance, and 5 feet from the bottom of graded slopes. They shall be wire-reinforced fabric fence on metal T-posts and shall be buried a minimum of 6 inches. Check dams constructed of washed stone, hay bales or straw wattles shall be installed across drainage channels or areas of concentrated flow. Mud Mats must be installed at driveway entrances to prevent sediment from being tracked onto the roadways of Couch Mountain.
- **MAINTAIN MEASURES:** Erosion control measures shall be monitored weekly and after every rainstorm. Repair damaged control measures promptly. Remove and properly dispose of accumulated sediment trapped behind control devices when it reaches one third of the barrier height.

All erosion control measures must be in place before the commencement of any construction activities. They must be correctly installed to industry standards and actively maintained. Failure to maintain or repair failed devices will incur fines stated in the Enforcement and Penalties section.



STORMWATER MANAGEMENT

Measures must be taken to limit disruption of natural drainage patterns, to increase stormwater infiltration and to reduce water flows into the streams. The design and use of stormwater features shall be an integral part of the site design and should be designed to complement the surrounding architecture and landscape. Approved permanent measures to manage water quality, volume and site erosion are as follows:



Cisterns used for irrigation of gardens.

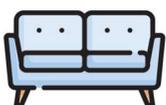


Vegetated roof slows stormwater runoff.



Infiltration trench paralleling a pathway.

- RAINWATER CATCHMENT - Cisterns and/or rain barrels for rainwater collection, storage and use are encouraged and can be above or below ground. The DRC may require the cistern to be screened from view of the street, common areas or adjacent lots depending upon the type of cistern proposed.
- GREEN ROOFS - Vegetated roofs absorb stormwater runoff, limit native habitat disruption and reduce solar heat gain.
- POROUS PAVING – Porous paving materials shall be installed over a 6” porous sub-base that is graded to drain away from the home.
- RAIN GARDENS / BIORETENTION CELLS - Rain gardens and bioretention cells are shallow, depressed areas in the landscape that capture, cleanse and infiltrate runoff. These areas can be attractive additions to any landscape, and should be filled with native plants tolerant of both dry and wet soil conditions.
- DRY WELLS / INFILTRATION TRENCHES - Runoff can be directed to gravel filled holes and trenches where the water is temporarily stored until it can slowly soak into the surrounding soil, recharging the groundwater aquifer.



DRIVEWAYS

Driveway design should complement the property's natural features. They should be designed to gently curve to accommodate existing topography and vegetation.



Crushed stone driveway.

DIMENSIONS

- Driveways shall be no closer than 10' from the side property line.
- Driveway width shall be 14' maximum, excluding motor courts.
- Natural topography shall be followed to the greatest extent possible. Slopes shall be minimized and may not exceed 22%.

MATERIALS

- Crushed stone and decomposed granite are allowed if gray or brown in color. White stone is not allowed.
- Brick, natural stone, and concrete pavers are allowed.
- Poured concrete is allowed, provided it has adequate earth-tone coloring, detailing and consistent control joints. Exposed aggregate concrete is preferred.
- Asphalt and Chip & Seal driveways are allowed.



Banding asphalt driveway with stone.

COLORS

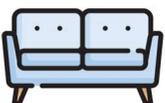
- Materials shall be earth-tone colors, responding to the building or surrounding landscape. Lighter colors are preferred, as they absorb less heat and reduce the Urban Heat Island Effect.



Tire track driveway reduce impervious service.

PERMEABILITY

- Permeable pavers, porous concrete, and other permeable materials are strongly encouraged for all horizontal surfaces.
- Tire track drives and shared drives may be utilized to reduce the square footage of impervious surfaces.



RETAINING WALLS

Site retaining walls should complement the building architecture and shall meet the following requirements:

- Natural stone veneer, boulder walls, stucco and brick walls are allowed.
 - Modular, interlocking concrete block retaining walls and exposed concrete block walls are not allowed.
 - Certain manufactured stone veneers may be approved on a case-by-case basis dependent on their quality and their ability to mimic the natural material they are designed to emulate.
 - See Site Design and Grading Section for guidelines regarding maximum wall heights.
-



Simple black aluminum fence.

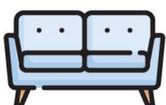


Welded mesh garden fence.

FENCES

Fences are not encouraged at Couch Mountain, as they obstruct wildlife corridors and have the potential to impede views from neighboring properties and common spaces. Fences are allowed for pet enclosures; pool surrounds and garden surrounds. Vertical fences must be designed to visually recede into the landscape.

- Simple, non-ornate styles are preferred, with a high level of transparency.
- Powder-coated steel or aluminum fencing in dark green, black, or bronze is preferred.
- Cables and welded wire fence panels in a metal or wooden frame are acceptable, provided their colors blend into the surrounding landscape.
- The use of invisible electric fences is encouraged for pet enclosures.
- The maximum height for fences is 5 feet.
- Fences shall not be located between the road and the home. Fences may not be located closer than 15 feet to the side and rear property lines.





Native stone walkway, stairs, patio and firepit.



Gravel path lined with regionally sourced stones.



Simple bench constructed of indigenous stone.

SITE FEATURES

Outdoor spaces for enjoying Couch Mountain's natural environment should be thoughtfully designed to extend the indoor living environment while minimizing impact to the existing landscape.

All site features (walls, fences, patios, driveways, walkways, fire pits, planters, etc.) shall be built from materials and colors that complement the architecture of the home and the surrounding site. Indigenous and/or regionally sourced materials shall be used.

PATIOS AND WALKWAYS

- Acceptable materials are natural stone flagging; brick, stone, and concrete pavers; crushed stone and decomposed granite (no white gravel); and poured concrete (colored).
- Low-impact walking paths of mulch, wood chips, gravel or elevated boardwalks may be installed throughout the site.

OUTDOOR FIRES AND KITCHENS

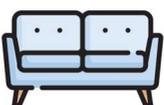
- Fire pits, fireplaces and outdoor grills are allowed provided reasonable safety precautions are followed.
- Materials and colors used must complement the architecture of the home.

POOLS AND SPAS

- Above ground pools are not permitted.

LANDSCAPE SCREENING

Appropriate landscape screening shall be used to conceal trash cans, recycling bins and exterior appliances such as air conditioning units.





PLANTING

The landscape design should use native plantings and materials that reflect the natural patterns, character, forms and colors of the region. Materials and structures should also blend into and reflect the rustic natural qualities of the property.

- Limited lawn areas, if desired, will be permitted.
- Acceptable lawn alternatives include no-mow grass seed mixes, which only need mowing 2-3 times a year, and groundcovers such as creeping thyme and mondo grass.
- Disturbed areas shall be immediately planted with native trees, shrubs, grasses, and groundcovers, and covered with hardwood mulch.
- All plantings will be reviewed for approval in the final landscape plan submission.
- The use of edible landscape materials, including vegetable gardens, is encouraged. Vegetable gardens should be maintained in an orderly fashion, including pruning, weeding and appropriate disposal of unwanted produce.

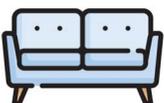


Except for long periods of drought, all plantings, except for fruit and vegetable gardens, shall be selected so they are able to survive after one year of planting without the use of supplemental irrigation water. Irrigation is allowed however, and shall be designed so it reduces water consumption by using drip irrigation, water sensors, etc. Utilizing captured rainwater for irrigation purposes is strongly recommended.

All landscape areas shall be designed so they do not require the use of chemical fertilizers or pesticides once established. All planting areas shall be of amended soil that is well drained and full of nutrients. In the event limited pesticide use is required, all sprayings shall take place on days with no wind and there shall be no over spray on to neighboring properties or common areas. Landscape plans shall consider sun and shade microclimates.



All landscape lighting shall be designed with full cutoff fixtures that direct light downward to create a safe and attractive nighttime environment while not contributing to light pollution. No up lighting is allowed.



ARCHITECTURAL PATTERNS

DESIGN CONCEPTS



The intent of the Guidelines is to maintain high standards for a community of residences in the context of the natural environment. It is not the intent of the Guidelines to dictate a particular architectural style, but rather to provide Lot Owners and their architects with a set of guidelines that will foster an attractive community.

The architectural style of structures at Couch Mountain should be individually designed for each Lot with respect for its natural features. Concepts should preserve the natural beauty of the existing site through appropriate rustic contemporary and mountain vernacular designs, landscaping, and material use.

Rarely will a “plan book” design solution fit appropriately on the unique characteristics of a given lot. Architectural solutions should endeavor to visually recede into the natural setting and harmoniously relate to neighboring structures, rather than making a grand architectural statement. Period, European Romantic, and heavily adorned architectural styles are not appropriate for Couch Mountain.

FEATURES RESPONDING TO THE SITE



In order for the architecture to complement and be responsive to the immediate site and environment, each feature and component of the design solution should be a deliberate response to these natural elements:

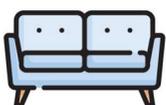
TOPOGRAPHY – The configuration and orientation of the structure should generally run parallel with natural topography.



SUN – Roofs, apertures and transparency should be responsive to the solar orientation of the lot. Where solar heat gain is of concern, roof overhangs should appropriately respond to sun exposure. Roof slopes are not predetermined.

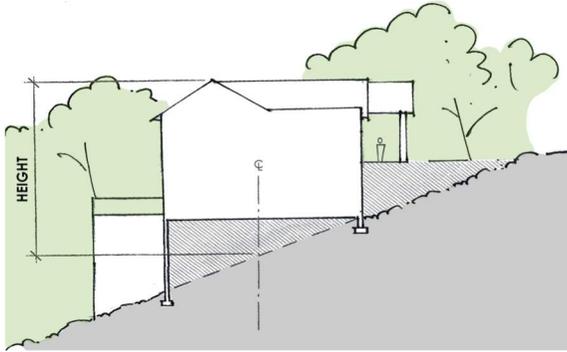
RAIN – Roof slopes, overhangs, drainage gutters and catchment features should respond to the rainy, temperate environment of Western North Carolina.

WIND – Orientation, roofs, and building geometry should take the prevailing wind direction into consideration. Such consideration can be advantageous to naturally ventilating the structure.



BUILDING SIZE & HEIGHT

All houses shall meet all applicable building codes and regulations.

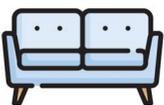


- Houses will be a maximum of 35' tall as measured from the midpoint of where the house meets natural grade to the highest point of the roof.
- Houses will be a minimum of 1,000 conditioned square feet.

COLOR

All built elements will be finished in colors that relate to the environment and contextual elements of the home's location.

- Medium to darker shades of green, brown, gray, and other earth tones are encouraged in Couch Mountain.
- Exterior materials will have a low albedo, measured by the material or color's LRV (Light Reflectance Value). The LRV shall be 40 or lower.
- All exterior color and materials shall be approved by the DRC.



EXTERIOR MATERIALS

Exterior materials include any material other than roofing, vertical or horizontal, that is applied to the exterior of the house. The intent of this section is to establish a consistent application of suitable and compatible materials throughout Couch Mountain.

WOOD SIDING - Shall be applied in a vertical or horizontal manner. Diagonal siding is not permitted. Wood siding may include lap, shiplap, board and batten, tongue and groove, natural bark, or sawn shingle application.

SYNTHETIC SIDING - Various synthetic products are approved if wood based or cementitious. Products may include those that simulate the approved wood materials. Sheet panel products such as Hardie Panel are also allowed, but must be used in accompaniment with batten strips, shadow reveal moldings or flashing profiles. Panel products cannot leave a butt joined seam exposed between two or more panels.

NATURAL STONE - Natural stones that are indigenous to the Southern Appalachian region are allowed for exterior drystack or mortared applications.

MANUFACTURED STONE - Certain manufactured stone veneers may be approved on a case-by-case basis dependent on their quality and their ability to mimic the natural material they are designed to emulate.

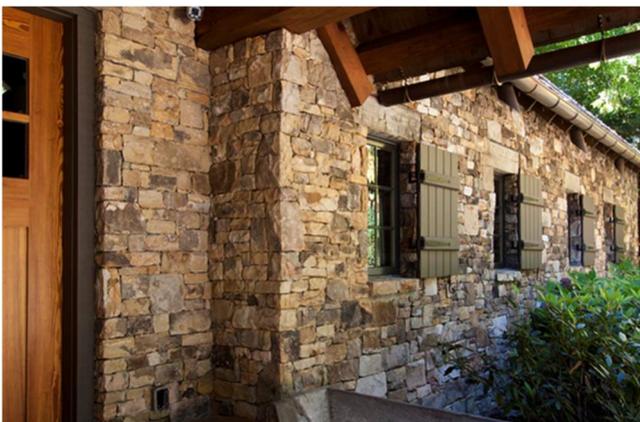
BRICK - Wire cut or molded brick that are dark grey, black or brown in color and shall not be overly variegated in color/shade range. Red, orange, beige or white bricks are not allowed as they will not meet the required LRV requirements. Sanded brick is not allowed. Mortar shall be raked and shall closely match the brick in color. Painted brick is allowed but must meet LRV requirements.



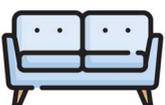
Wood siding oriented horizontally.



Natural bark siding and natural shingle siding.



Indigenous dry stack stone exterior.



EXTERIOR MATERIALS continued



Fiber cement board siding with vertical battens.

STUCCO - Portland or acrylic stucco finishes shall be allowed.

PRESSURE TREATED WOOD - Unstained or unpainted pressure treated wood shall be allowed for horizontal deck applications only. Any other application of pressure treated wood will need a stain/paint that complies to the required LRV values for exterior components.

WOOD DECKING - Products that are inherently resistant to rot, decay and insects are encouraged. Such products include: locust, cedar, cypress, thermally modified ash or oak, ipe or mahogany. Care and awareness should be given when choosing products that are exotic in nature and may be harvested via unsustainable or harmful practices.

COMPOSITE DECKING - Shall be allowed for horizontal deck applications only. No composite posts or balusters shall be used.

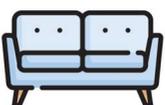
RAILINGS - See Porches and Decks section.

VINYL / PVC - Siding, gutters, downspouts or other exterior applications are not allowed.

WINDOWS - Windows are a key component of the Couch Mountain aesthetic – transparency and visual connection to the outdoors is encouraged. Windows shall be wood, wood with metal cladding, or metal in construction. Certain vinyl windows may be approved on a case-by-case basis depending on their quality. Muntin bars shall be SDL (simulated divided lites) – FS (Full Surround grill) windows are not allowed. Exterior window colors shall meet the required LRV value for exterior materials.



Earth tone windows with SDL muntin bars.





Standing seam metal roof with low sheen.



Vegetated roof limits solar heat gain and reduces runoff.



Shake roof and standing seam copper in composition.

ROOFS

All roof pitches which are responsive to site/environmental influence are allowed. Roof vents, metal flashing and penetrations shall be painted to closely match the roofing color. Vent stacks, exhaust fans, skylights, flues and other roof penetrations should not be visible from the street.

ROOF MATERIALS ALLOWED:

- Standing Seam, Flat Seam, or Agricultural metal roofs, with low sheen or matte finish, in earth tone colors (greys, bronzes, and browns)
- Wood shake or simulated wood shake roofs
- Slate or simulated slate roofs
- Flat tile (no barrel) in earth tone colors (greys and browns)
- Vegetated Roofs
- Dimensional/Architectural asphalt shingles (must be multi-ply), limited to darker earth-tone colors (greys and browns)

ROOF MATERIALS NOT ALLOWED:

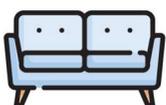
- Exposed white PVC or TPO membrane roofs (unless not visible from neighboring or above properties, nor visible part of viewshed)
- Single ply asphalt roofs (non-dimensional 3 or 5 tab)

SOLAR PANELS:

- Photovoltaic panels are encouraged and shall be incorporated into the roof and/or landscape

SATELLITE DISHES & ANTENNA:

- Satellite dish and antenna location should be inconspicuous and unobtrusive
- Final placement is subject to DRC approval





Garage with single stall doors which is not facing the road.

GARAGES

Garages can be attached or built as an accessory structure (detached). Story and a half garages with living or storage space above are allowed provided they meet the design guidelines and DRC approval. Carports may be considered by the DRC on a case-by-case basis.

- Only single car width garage doors that are a maximum of 10' wide and 8' high are approved.
- Garage doors should not face the street, unless approved in writing from the DRC.
- Garage doors should be painted/stained to help the door blend into the composition of the house.

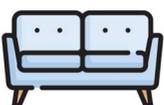


Accessory buildings and detached garages must conform with the overall architecture of the main dwelling.

ACCESSORY STRUCTURES

All accessory structures are subject to DRC approval and include but are not limited to detached garages, guest houses, greenhouses, gazebos, trellises, playhouses, chicken coops, etc. These structures shall match the style, materials and color of the main house. Accessory structures will meet the following requirements:

- Will be less than 25' tall
- Will not be more than 900 square foot footprint
- Will not have more than 1,500 conditioned square feet.
- Generic or mass-produced storage sheds are not allowed





PORCHES, DECKS & RAILINGS

Outdoor living is essential to experiencing the natural beauty of Couch Mountain. Porches, decks and railings will meet the following requirements:

- Designs shall be integrated into the architectural composition of the main structure - appropriate to the size, scale, and materials of the house.
- Railings must be transparent in nature and must match the color and style of the house.

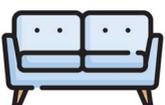


EXTERIOR LIGHTING

Exterior lighting shall not include any up-lighting glare, and unshielded/diffused direct bulb conditions. Finishes of all exterior light fixtures shall match or coordinate with other exterior materials. All lighting elements shall be full cutoff fixtures.

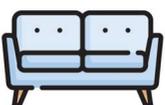
DARK SKY PRINCIPLES:

- Minimize amount of illumination – number of fixtures and lamp wattage
- Minimize the area of illumination – only light areas that are needed, minimize glare by directing all light downward, do not allow light to trespass on to adjacent properties.
- Minimize duration of illumination – use photo sensors or timers. Motion sensors can also be used but can be challenging with pets, wildlife and tree motion from wind and may not be allowed in some instances.

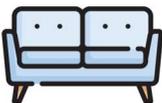


PRECEDENT IMAGES

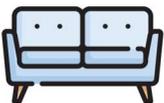
Houses at Couch Mountain may be of traditional or contemporary form. Gable roofs and dormers of varying sizes and slopes and homes with single slope roofs are appropriate for Couch Mountain. Large windows can create a connection to the natural beauty of the surrounding landscape, while exterior living spaces provide a space for enjoying the outdoors. Appropriate materials, landscape design, roof overhangs, and outdoor living spaces can be used to blend contemporary structures with the surrounding mountain landscape. Building form and configuration at Couch Mountain are not predetermined and will be an aspect of site responsive design.



PRECEDENT IMAGES continued



PRECEDENT IMAGES continued



GREEN BUILDING PROGRAMS

There are several financial incentives that builders and homeowners should take advantage of. These programs can offset thousands of dollars in initial energy efficiency costs, which can significantly reduce return on investment time periods. The following green building programs provide 3rd party verification of a home's energy efficiency and environmental performance. These programs also improve property values and resale values of homes.



GREENBUILT NC HOMES (www.wncgbc.org/programs/green-built)

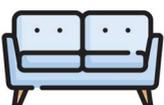
Green Built North Carolina, formerly NC HealthyBuilt Homes, is a voluntary, statewide green building program administered by the Western North Carolina Green Building Council (WNCGBC). The program includes the Energy Star program as well as additional site, health, and resource efficiency components.



ENERGY STAR PROGRAM (www.energystar.gov)

A new home that has earned the ENERGY STAR label has undergone a process of inspections, testing, and verification to meet strict requirements set by the US EPA. ENERGY STAR certified homes typically use 15-30% less energy than comparable new homes while delivering better comfort, quality, and durability.

- ALL HOMES IN Couch Mountain ARE REQUIRED TO MEET THE ENERGY STAR 3.0 CERTIFIED NEW HOMES STANDARDS (OR THE MOST CURRENT VERSION OF ENERGYSTAR)
- It is the builder's responsibility to coordinate all 3rd party testing and verification and provide a copy of the final Energy Star label from the Energy Star Rater to the DRC at the end of construction. Failure to complete the Energy Star process by the builder will be a forfeiture of the Builder Deposit.

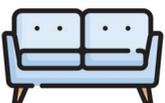


GREEN BUILDING PROGRAMS Continued



LEED FOR HOMES (www.usgbc.org/cert-guide/homes)

A LEED-certified home is designed and constructed in accordance with the rigorous guidelines of the LEED for Homes green building certification program. LEED for Homes is a consensus-developed, third party-verified, voluntary rating system which promotes the design and construction of high-performance green homes. The WNCGBC is the local provider of the LEED program.



APPENDIX A - RECOMMENDED NATIVE PLANT LIST

This list is not exhaustive, but it represents some of Western North Carolina's best native plants. In order to provide the best combination for wildlife and pollinators, we recommend planting a diversity of species, with successional flowering times.

LARGE TREES (OVER 25 FEET)

Red maple
Sugar maple
Yellow buckeye
Yellow birch
Sweet birch
River birch
Red oak
Post oak

Black tupelo
Bitternut hickory
Pignut hickory
Yellowwood
Beech
Tulip tree
Cucumber tree
American linden

Magnolia acuminata
Sycamore
Red spruce
Black cherry
White oak
Chestnut oak
Canadian hemlock
Carolina hemlock

SMALL TREES (UP TO 25 FEET)

Serviceberry
Paw paw
Amer. hornbeam
Eastern Redbud
Fringetree
Carolina silverbell
American plum

Pagoda dogwood
Silky Dogwood
Flowering dogwood
Washington hawthorn
Crataegus phaenopyrum
Persimmon
Pin cherry

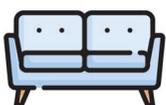
Common witch-hazel
American holly
Red cedar
Umbrella tree
Hop-hornbeam
Sourwood
Blackhaw Viburnum

LOW SHRUBS (UNDER 4 FEET)

New Jersey tea
Smooth hydrangea
St. John's wort

Drooping leucothoe
Carolina rose
Cranberry

Lowbush blueberry
Maple-leaf viburnum



MID-SIZE SHRUBS (4 FEET TO 10 FEET)

Sweetshrub
Mountain pepperbush
Silky dogwood
Hazelnut
Bush-honeysuckle
Hearts-a-bustin
Large fothergilla
Bushy St. John's Wort

Common winterberry
Virginia sweetspire
Mountain laurel
Spicebush
Sweet azalea
Flame azalea
Carolina rhododendron

White / Pinxter azalea
Pinkshell azalea
Elderberry
Coral berry
Highbush blueberry
Witherod Viburnum
Mountain rosebay

LARGE SHRUBS (OVER 10 FEET)

Tag alder
Mock orange

Rosebay Rhododendron
Smooth sumac

Silky willow
Arrowwood

VINES

Dutchman's pipe
Crossvine
Trumpet creeper

Virgin's bower
Climbing hydrangea
Coral honeysuckle

Virginia creeper
Passion flower
Fox grape

FERNS

Maidenhair fern
Ebony spleenwort
Lady fern
Hay-scented fern
Wood fern

Sensitive fern
Cinnamon fern
Interrupted fern
Royal fern

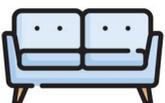
Christmas fern
New York fern
Chain fern
Common woodsia

NATIVE GRASSES AND SEDGES

Big bluestem
Broomsedge
Pennsylvania sedge

Plantain-leaved sedge
River oats
Oat grass

Switch-grass
Little bluestem
Indian grass



GROUND COVERS

Wild ginger
Green-and-gold
Mouse-eared coreopsis
Wild strawberry

Wintergreen
Little brown jugs
Dwarf crested iris
Partridge berry

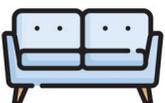
Allegheny spurge
Creeping phlox
Oconee bells

PERENNIAL WILDFLOWERS

Blue star
Thimbleweed
Wild columbine
Jack-in-the-pulpit
Goat's-beard
Swamp milkweed
Butterfly-weed
Curtis aster
White wood aster
New England aster
Late purple aster
False goatsbeard
Wild indigo
Pink turtlehead

Coreopsis
Bleeding heart
Shooting star
Trout lily
Joe-Pye weed
Wild geranium
Sunflower
Sharp-lobed hepatica
Alumroot
Jewelweed
Blazing star
Turks-cap lily
Cardinal flower
Lobelia

Great lobelia
Fringed loostrife
Bishop's cap
Bee balm
Carolina phlox
Garden phlox
Solomon's seal
Blackeyed susan
Bloodroot
Goldenrod
Bush pea
Foamflower
New York ironweed
Black cohosh



APPENDIX B - Forms

Concept Review

Date: _____ Lot # _____

Owner: _____

Architect: _____

Landscape Architect (if determined): _____

Proposed Builder (if determined): _____

The Concept Review is an effort to minimize any unnecessary use of time and resources on a concept that may or may not be approved by the DRC. The DRC will review the documentation submitted and discuss the basic design concept and its alignment with the Design Guidelines.

Please submit digital copies of the following:

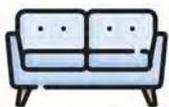
- \$500 Application Fee
- Conceptual Floor Plan (1/8"=1'-0" scale minimum).
- The floor plan or house outline approximately placed on a topographic site plan (1"=30'-0" scale minimum).
- The proposed driveway location.
- The proposed finished floor elevation of the main level of the house.
- Proposed exterior elevations, sketches and/or pictures of similar house styles to the one being considered.

As described in the Design Guidelines, the DRC is looking for site specific design which takes into consideration topography, sun orientation, wind, view corridors, etc.

DRC ACTION

Approved _____ Disapproved _____

** See attached comments from the DRC



Address of Project _____

Owner _____

Architect _____

Address _____

Address _____

_____ Zip _____

_____ Zip _____

Telephone _____

Telephone _____

Email _____

Email _____

Landscape Architect _____

Contractor _____

Address _____

Address _____

_____ Zip _____

_____ Zip _____

Telephone _____

Telephone _____

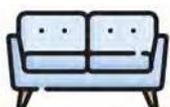
Email _____

Email _____

PRELIMINARY DESIGN CHECKLIST

Please check off each item as they apply. If any of the items on the list are not completely addressed and fully completed, the submittal will be considered incomplete and will not be included on the agenda for review.

- (2) hard copies and digital file in .pdf format
- Completed Preliminary Design Submission Form (above)
- \$1,500 Application Fee
- \$2,000 Non-refundable construction impact fee
- Site Plan (1" = 20' scale) indicating:
 - North arrow and graphic scale
 - Existing topography with 2' minimum contour intervals
 - Existing trees greater than 8" diameter at breast height (DBH) within the Construction area, within 50 feet of any portion of the Construction Area and within any view corridors
 - Setback lines shown and labeled
 - Property boundaries shown and labeled



- Right-of-way shown and labeled
- Primary house footprint with finished floor(s) elevations labeled
- Other proposed structures with finished floor elevations labeled
- New grading lines
- Driveway layout
- Location of proposed hardscape improvements (walls, patios, walkways, etc.)
- Location of planting beds and conceptual planting plan
- Limits of disturbance
- Front, Side and rear setback lines shown and labeled (front yard setback is 45'-0").
- Retaining walls, approximate height and material proposed
- Site drainage modifications – pipes, swales, culverts, level spreaders, etc.
- Location of septic and repair fields
- Proposed utility locations – well, buried propane tank, etc.
- Trees identified for preservation with the species, diameter at breast height (DBH)
- Location of tree protection fencing and/or other protection measures
- Location of topsoil and construction material storage areas
- Temporary construction site entrance location (mud mat)

- Stormwater Management Plan (1" = 20' scale) indicating:
 - Silt fencing and other temporary erosion control measures
 - Location of permanent stormwater control features
 - Preliminary calculations of volume and flow rates

- Floor Plans (1/8" = 1'-0" scale minimum) floor plans indicating:
 - Overall dimensions
 - Square footage of conditioned spaces and outdoor spaces
 - Room names

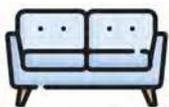
- Exterior Elevations (1/8" = 1'-0" scale minimum) indicating:
 - Exterior windows and doors
 - Height to highest point of roof, dimensioned to grade on front and rear of house
 - Preliminary exterior materials

Notes:

DRC ACTION

Approved _____ Disapproved _____

** See attached comments from the DRC



Final Design Submission

Date: _____ Lot # _____

Address of Project _____

Owner _____ Architect _____

Address _____ Address _____

_____ Zip _____ _____ Zip _____

Telephone _____ Telephone _____

Email _____ Email _____

Landscape Architect _____ Contractor _____

Address _____ Address _____

_____ Zip _____ _____ Zip _____

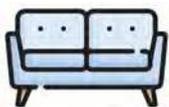
Telephone _____ Telephone _____

Email _____ Email _____

FINAL DESIGN CHECKLIST

Please check off each item as they apply. If any of the items on the list are not completely addressed and fully completed, the submittal will be considered incomplete and will not be included on the agenda for review.

- (2) hard copies and digital file in .pdf format
- Completed Final Design Submission Form (above)
- Completed Owner Affidavit
- Completed Owner Acknowledgements
- Completed Application for Approved Builder
- 1" = 20' scale Site Plan indicating:
 - Existing topography
 - Existing trees greater than 6" DBH within the Construction area, within 50 feet of any portion of the Construction Area and within any view corridors
 - New grading lines
 - Driveway layout
 - House footprint and other proposed structures with finished floor elevations
 - Location of proposed hardscape improvements (walls, patios, walkways, etc.)
 - Limits of disturbance and overall SF of disturbed area



- Setbacks
- Septic and repair fields
- Proposed utility locations
- Proposed location of hardscape improvements (walls, patios, walkways, etc.)
- Proposed fencing
- Mechanical equipment
- Proposed locations for waste dumpster and portable toilet

- 1" = 20' (minimum) Preliminary Landscape Plan indicating:
 - Landscape beds
 - Plant species with approximate count - see *Planting* section for requirements.
 - Landscape lighting plan
 - Other landscape features such as paths, rain gardens, boulders, etc.

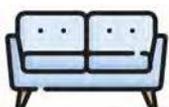
- 1" = 20' scale Tree Preservation Plan indicating:
 - Trees identified for preservation with the species, diameter at breast height (DBH)
 - Location of tree protection fencing and / or other protection measures

- 1" = 20' scale Stormwater Management Plan indicating:
 - Silt fencing and other temporary erosion control measures
 - Location of permanent stormwater control features
 - Final calculations of volume and flow rates

- 1/4" = 1'-0" scale Floor Plans for all floors indicating:
 - Wall dimensions
 - Room names
 - Area calculations: square footage of conditioned spaces and outdoor spaces

- 1/4" = 1'-0" scale Exterior Elevations (perspective drawings are helpful if available), accurately depicting:
 - Windows and doors
 - Proposed garage doors (with detail and spec sheet)
 - All proposed trim, fascia, bands, brackets, and braces
 - Porches, columns, and railings
 - All wall penetrations, including mechanical / plumbing exhausts
 - All roof penetrations
 - Finished grade lines
 - Exterior lighting (submit spec sheets for decorative fixtures)

- Wall Sections/Details indicating detail for exterior elements including but not limited to:
 - Roofs, eaves, cornice, rakes
 - Window and door trim



- Chimney caps
 - Terraces and porches
 - Railings
 - All visible material transitions (siding to stone, sill caps, water tables, etc.)
-
- Final exterior palette and samples of all exterior materials and colors.
-
- Energy Star compliance documentation including:
 - Intended certification method: Prescriptive Path or Performance Path
 - Builder's Energy Star Partnership Agreement
 - Energy Star Home Energy Rater

Notes:

DRC ACTION

Approved _____ Disapproved _____

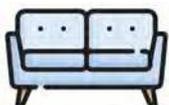
** See attached comments from the DRC



Owners Acknowledgments

I (we) understand and acknowledge the following and:

- Have received copies of Couch Mountain Covenants, Conditions and Restrictions (CCR's), the Couch Mountain Design Guidelines and the Couch Mountain Construction Guidelines and will follow and comply with the Policies & Procedures described therein.
- Have read and understand the Couch Mountain Covenants, Conditions and Restrictions (CCR's), the Couch Mountain Design Guidelines and the Couch Mountain Construction Guidelines and will follow and comply with the Policies & Procedures described therein.
- Will construct the subject home in accordance with all Couch Mountain Covenants, Conditions and Restrictions (CCR's), the Couch Mountain Design Guidelines and the Couch Mountain Construction Guidelines and will follow and comply with the Policies & Procedures.
- Accept responsibility to specifically identify all elements of plans or designs that are inconsistent with the Couch Mountain Design Guidelines.
- That any variation from the original application must be resubmitted for approval and I (we) accept sole responsibility for the timely request of any variances.
- Certify that the Property Owner(s) is/are ultimately responsible for the Builder being fully compliant with all builder rules.
- The Applicant / Builder will grant the HOA's representatives (DRC members and their consultants) access to my property for the duration of the project, to conduct inspections and follow-up on any non-compliance issues.
- That no work on this submission shall commence until I (we) have received approval of the Design Review Committee (DRC)
- Any construction or alteration to the subject property prior to approval of the DRC is prohibited. If I have commenced or completed any construction or alteration to the subject property and any part of this application is disapproved, I may be required to return the subject property to its original condition at my own expense. If I refuse to do so and the HOA incurs any legal fees related to my construction and/or application, I will reimburse the HOA for all related legal expenses incurred.
- That any approval is contingent upon construction or alterations being completed in a neat and orderly manner.
- That there are architectural requirements covered by the Covenants, Guidelines, and a DRC review process as established by the Board of Directors.
- All proposed improvements to the property must comply with city, county, state, and local codes, and ordinances. I understand that applications for all required building permits are the responsibility of the owner. Nothing herein shall be construed as a waiver of modification of any codes. My signature indicates that these standards are met to the best of my knowledge.
- This New Construction or Alteration will not detrimentally affect the proper drainage of any common areas or surrounding lots. I will be responsible at my expense to correct any drainage problems to such areas that may occur resulting from this work or alteration.
- The Applicant/Builder acknowledges and agrees that the HOA and DRC assume no liability resulting from the approval or disapproval of any plans submitted. The HOA and DRC assume no liability and make no representations regarding the adequacy or quality of any submitted plans or whether such plans comply with any or all governing authority requirements. The DRC's review, comments, and/or approvals do not relieve the design professional(s) of record and Applicant/Builder of their responsibility and obligation to comply with the CCRs, Couch Mountain Design Guidelines and Couch Mountain Construction Guidelines.



- It is the duty of the Property Owner and the Builder employed by the Property Owner to determine that the proposed improvement is structurally, mechanically and otherwise safe and that it is designed and constructed in compliance with applicable building codes, fire codes, other laws and regulations and that the Couch Mountain HOA, the DRC and any employee or member thereof, shall not be liable for damages or otherwise because of the approval or non-approval of any submission or improvement.

I (we) certify that the Final Design Submission is an accurate representation of the proposed improvements and that the work will conform to applicable codes, covenants, Design Guidelines and standards. I also certify that the improvements will be completed in accordance with the approved application. I understand that construction is not to begin until approval has been received from the DRC.

Owner/Applicant Signature: _____ Date: _____

Co-Owner/Applicant Signature: _____ Date: _____

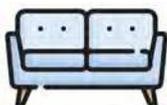
Important Information

SCHEDULE - DRC meetings are held on the last Friday of every month (or more frequently as required). To be placed on the meeting agenda for a given month, completed submissions must be received by the DRC by the second Friday of that month in order to give the DRC ten (10) working days to review the application.

REVIEW PROCESS - The Couch Mountain Design Guidelines stipulate the amount of time the DRC may take to render a decision. The DRC will make every reasonable effort to expedite the review process. Applications will be reviewed during this timeframe for completeness and the DRC may request additional information to help clarify your proposal.

APPLICATION - The application must be accompanied with the necessary documents, photos, drawings, brochures, and information for presentation to the DRC. Property Owners must sign the application. Builder's signatures for property owners will not be accepted. Modifications to existing "Approved" submissions are not permitted to commence with construction until the modification has been reviewed and approved by the DRC.

NOTIFICATION - Owners will be notified in writing (via the e-mail address on file) once a decision has been made.



Application for Approved Builder

Date: _____ Lot #: _____

Builder Name: _____

Builder Address: _____ City: _____ ST: _____ Zip: _____

Email: _____ Website: _____

For consideration as an Approved Builder in Couch Mountain please submit the below items to the Couch Mountain Design Review Committee.

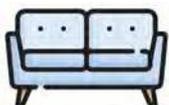
- A notarized Affidavit of Builder Qualifications
- A notarized Builder Affidavit of Understanding
- Proof of General Liability Insurance – refer to Builders Insurance Requirements
- Three examples of homes completed within communities with architectural design controls / guidelines including the project address, project cost, date of completion and community
- A digital (.pdf format) portfolio of relevant work for review by the DRC or

Portfolio website: _____

DRC ACTION

Approved _____ Disapproved _____

**See attached comments from the DRC



Builder Insurance Requirements

New Home Construction – Builder Insurance Requirements:

- A. Workers Compensation Insurance in accordance with the applicable NC Statute with Employer Liability limits of at least:
 - Bodily Injury by Accident - \$500,000 Each Accident
 - Bodily Injury by Disease - \$500,000 Each Employee
 - Bodily Injury by Disease - \$500,000 Policy Limit

- B. Commercial General Liability (CGL) Insurance* is to be provided on an occurrence basis with the following limits:
 - \$2,000,000 Products / Completed Operations Aggregate
 - \$2,000,000 General Aggregate
 - \$1,000,000 Any One Occurrence
 - \$1,000,000 Personal and Advertising Injury

**CGL Coverage must be endorsed to include Couch Mountain Home Owners Association, its officers, directors, and representatives added as an additional insured.*

- C. Commercial Auto Liability Insurance with combined Bodily Injury and Property Damage limit of not less than \$1,000,000 covering the use of all Owned, Non-Owned, and Hired Vehicles.

- D. Umbrella / Excess Liability Insurance with a limit of not less than \$1,000,000 minimum per occurrence. Coverage must be “Following Form” of the Contactor’s underlying Commercial General Liability, Auto Liability, and Employers Liability insurance coverage.

- E. Contractor’s Commercial General Liability, Auto Liability, and Umbrella Excess Liability insurers agree to waive rights of subrogation against The Couch Mountain HOA, its officers, directors, and representatives.

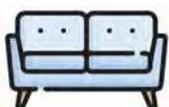
- F. All coverage is to be provided by a carrier licensed and permitted to conduct business in the State of North Carolina with a rating of at least “A- “(Excellent) by AM Best.

- G. Contractor agrees that coverage shall not be cancelled, non-renewed, or materially changed without at least a 30-day written notice to the Couch Mountain Homeowners Association.

- H. Contractor agrees to obtain and maintain Certificates of Insurance from all subcontractors prior to job site access.

- I. Builders Risk Insurance - Coverage shall be obtained by either the Contractor or the lot owner.
 - The Named Insured shall include the contractor, lot owner, and subcontractors.
 - Limit should be equal to the total cost of the project.
 - Coverage is to be provided on a replacement cost basis.
 - Coverage is to be written on an “All Risk” property form and shall extend to all material, equipment, and supplies intended to become a permanent part of all project structures.

NOTE: The above insurance requirements may be modified / waived on a case-by-case basis as determined by the DRC.



Affidavit of Builder Qualifications

Instructions: To be completed by the builder and submitted as part of the Couch Mountain Approved Builder Application.

Contractor Information

Name: _____ NC Contractor License # _____

Address: _____ City: _____ ST: _____ Zip: _____

I acknowledge and agree that:

- 1) I currently have a valid North Carolina General Contractor's License (Intermediate or Unlimited). A copy of said license is attached hereto.
- 2) My North Carolina General Contractor's License has not been revoked, suspended, debarred or under notice thereof in any jurisdiction.
- 3) I have no pending claims or resolved claims with the North Carolina General Contracting Board or any other governing body within the past five (5) years.
- 4) I will have and maintain the required insurance coverages for the duration of the project as outlined in the Couch Mountain Builder Insurance Requirements document.

(Name - type or print clearly)

(Signature)

Notary Public Information:

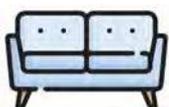
Sworn to (or affirmed) and subscribed before me on this the _____ day of _____, 20_____.

(Official Seal)

(Signature of Notary)

_____, Notary Public
(Notary's printed or typed name)

My commission expires: _____



Builder Affidavit of Understanding

Instructions: To be completed by the builder and submitted as part of the Couch Mountain Approved Builder Application.

Contact Information

Name: _____ NC Contractor License # _____

Address: _____ City: _____ ST: _____ Zip: _____

I acknowledge and agree that I (we):

- 1) Have received copies of the Couch Mountain Covenants, Conditions and Restrictions (CCR's), the Couch Mountain Design Guidelines and the Couch Mountain Construction Guidelines.
- 2) Have read and understand the Couch Mountain Covenants, Conditions and Restrictions (CCR's), the Couch Mountain Design Guidelines and the Couch Mountain Construction Guidelines and will follow and obey the policies and procedures as described.
- 3) Have reviewed and understand the Non-Compliance Violations and Schedule of Fines detailed in the Guidelines
- 4) Will construct the subject home in compliance with the Couch Mountain Design and Construction Guidelines.
- 5) Are solely responsible for ensuring all builder representatives (employees, sub-contractors, vendors, etc.) are aware of all applicable Builder Rules and will comply with same.
- 6) Are solely responsible for compliance with all municipal, state and federal laws which may be applicable.
- 7) Understand that should a violation of municipal, state, or federal regulation or law occur the Couch Mountain Design Review Committee has the right to terminate the Contractor's right to be an approved builder.



Builder Affidavit of Understanding (cont.)

(Name - type or print clearly)

(Signature)

Notary Public Information

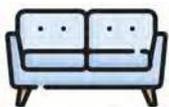
Sworn to (or affirmed) and subscribed before me on this the _____ day of _____,
20_____.

(Official Seal)

(Signature of Notary)

_____, Notary Public
(Notary's printed or typed name)

My commission expires: _____



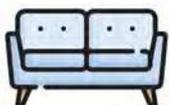
Fines for Non-Compliance Items

SCHEDULE OF FINES FOR NON-COMPLIANCE ITEMS – OTHER THAN TREE REMOVAL

First Violation:	Written Warning
Second Violation:	\$ 500.00 Minimum (At DRC Discretion)
Third Violation:	\$1,000.00 Minimum (At DRC Discretion)

Continued violations or a prior history of non-compliance may result in the Builder's loss of privilege to enter Couch Mountain on a temporary or permanent basis.

CONSTRUCTION INFRACTIONS & VIOLATIONS – Other than tree removal	
Mud Mat Not Installed or Maintained	\$500
Silt/Erosion Fencing Not Installed or Maintained	\$500
Littered Job Sites / Blown Debris	\$500
All Nuisance Violations (At DRC Discretion)	\$500
Dumping/Washout of Concrete anywhere other than the building site	\$500
Lost loads of any bulk material (gravel, sand, fill material, etc.)	\$500
Sanitary facilities on job site not properly located or Maintained	\$500
Working outside of approved hours	\$500
Parking violations on adjacent property	\$500
Materials and/or Equipment on Right-of-Way	\$500
Damage to common natural areas (Plus Cost of Repair to Site)	\$500
Non-Approved plan changes or exterior material / color palette changes	\$500
Burning on Job Site or Property	\$1,000
Construction Start without All Required Permits displayed on site- - Results in Construction Work Stoppage & Fine	\$1,000
TREE REMOVAL FINES	
Cutting of trees without prior DRC approval (for each tree size):	\$500
Trees between 6" and 11" diameter	\$1,000.00
Trees between 12" and 23" diameter	\$2,500.00
Trees 24" or greater diameter	\$5,000.00
Unauthorized tree removals may result in the requirement to replace the removed trees (At DRC Discretion), as follows:	Replace with:
Trees between 6" and 11" diameter	Two (2) 2" Caliper Compliant Trees
Trees between 12" and 23" diameter	Two (2) 4" Caliper Compliant Trees
Trees 24" or greater diameter	Three (3) 6" Caliper Compliant Trees



Final Landscape Plan

Date: _____ Lot # _____

Address of Project _____

Owner _____

Architect _____

Address _____

Address _____

_____ Zip _____

_____ Zip _____

Telephone _____

Telephone _____

Email _____

Email _____

Landscape Architect _____

Contractor _____

Address _____

Address _____

_____ Zip _____

_____ Zip _____

Telephone _____

Telephone _____

Email _____

Email _____

LANDSCAPE DESIGN CHECKLIST

Final landscape plan is due 60 days prior to completion of construction.

Please check off each item as they apply. If any of the items on the list are not completely addressed and fully completed, the submittal will be considered incomplete and will not be included on the agenda for review.

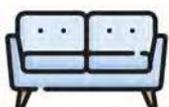
- (2) hard copies and digital file in .pdf format to DRC for review and approval.
- 1" = 20' (minimum) Final Landscape Plan indicating:
 - Landscape beds
 - Plant species with final count - see *Planting* section for requirements.
 - Landscape lighting plan
 - Other landscape features such as paths, rain gardens, boulders, etc.

NOTES:

DRC ACTION

Approved _____ Disapproved _____

**See attached comments from the DRC



Plan Review Variance Request Form

Complete the following information and submit to the DRC.

1. Date of Request:
2. Owner Name:
3. Owner Lot Number:
4. Owner Mailing Address:
5. Owner Contact Information:
 - Email:
 - Phone Number:

6. CC&Rs, and/or section(s) of the Design Standards for which a variance is being requested: (e.g., topography or natural rock feature on site)

7. Description of exception requested: (e.g., A 5'-0" incursion into the front yard setback to avoid rock outcropping)

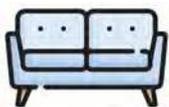
8. Reason for exception: (e.g., Existing rock feature is a valuable site amenity)

Signature: _____ Date of Submission: _____

DRC ACTION

Approved _____ Disapproved _____

** See attached comments from the DRC



Inspection Checklists

PRE-BUILD INSPECTION CHECKLIST

Lot # and address: _____

Homeowner Name: _____

Date of Inspection: _____ Inspector: _____

Weather Conditions: _____

Attendees: _____

Pre-Build Requirements - -

___ Architecture, Site and Grading Plans have been approved by DRC

___ Proposed building location flagged in field
Changes Required _____

___ Proposed clearing limits flagged in field
Changes Required _____

___ Driveway and lot access flagged in field
Changes Required _____

___ Approximate location of well and septic flagged in field.

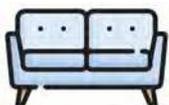
___ Approved Henderson County permits for Well and Septic location

___ Any temporary grading and drainage appear to be adequate.
Changes Required _____

___ Proposed erosion control appears to be adequate
Changes Required _____

___ List any specific areas with erosion potential.

Notes:



FOUNDATION INSPECTION CHECKLIST

Lot # and address: _____

Homeowner Name: _____

Date of Inspection: _____ Inspector: _____

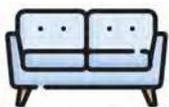
Weather Conditions: _____

Attendees: _____

Foundation Inspection Requirements -

- ___ There are no signs of Erosion or Runoff on or from the property
- ___ Mud Mat /Gravel entrance is installed, with no tracking of mud on roads
- ___ Driveway culverts and drainage is installed and operating properly
- ___ Silt Fences are installed and maintained
- ___ Grading is adequate and slopes are stabilized from erosion
- ___ All erosion controls are installed and stable
- ___ Natural Areas outside limits of disturbance are being protected
- ___ The job site is clean.
- ___ Control mud. Install mulch, gravel, or straw and seed all disturbed areas.
- ___ Tree protection, as needed, is in place.

Notes:



FINAL LANDSCAPE INSPECTION CHECKLIST

Lot # and address: _____

Homeowner Name: _____

Date of Inspection: _____ Inspector: _____

Weather Conditions: _____

Attendees: _____

Final Landscape Inspection Requirements -

___ There are no signs of current or future Erosion or Runoff on or from the property

___ All disturbed areas are covered with no visible dirt or mud

___ All proposed drainage is installed and maintained

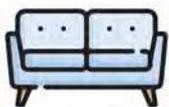
___ Tags, flags, and temporary erosion control measures have been removed

___ There are no significant changes from the site and grading approved plans

___ The landscape is installed per approved plan with no significant deviations

___ Lighting is installed per approved plans

Notes:



PERIODIC INSPECTION

Lot # and address: _____

Homeowner Name: _____

Date of Inspection: _____ Inspector: _____

Weather Conditions: _____

Attendees: _____

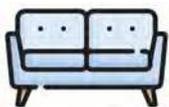
Drive-by Inspection Requirements -

- The job site is clean
- There is no loose trash/debris on the site
- The level of trash in the dumpster is being appropriately managed
- Construction material staging location is within property boundaries
- Construction related vehicles are appropriately parked
- Portable construction toilet door does not face street and appears well maintained

Please Fix the following immediately:

- Mud Mat /Gravel entrance needs maintenance
- Driveway culverts and drainage needs maintenance
- Silt Fences need to be installed or maintenance
- Grading needs to be stabilized from erosion
- Control mud. Mulch, straw, or seed and straw all disturbed areas.
- Natural Areas outside limits of disturbance needs further protection
- There is a significant deviation from the approved plans.

Notes:



BUILDER DEPOSIT REFUND INSPECTION CHECKLIST

Lot # and address: _____

Homeowner Name: _____

Date of Inspection: _____ Inspector: _____

Weather Conditions: _____

Attendees: _____

Closeout Inspection Requirements -

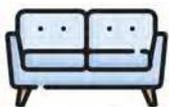
___ There are no signs of current or future Erosion or Runoff on or from the property

___ All disturbed areas are covered with no visible dirt or mud

___ The project and all improvements follow the approved plans with no significant deviations.

___ The project and all improvements meet the requirements of the Design Guidelines

Notes:



Change Request Form

NEW HOME CONSTRUCTION CHANGE REQUEST

Date of Submission: _____ Project # _____

Lot Owner Name: _____

Lot Owner Phone: _____ Lot Owner Email: _____

HMR Lot #: _____ HMR Lot Address: _____

Prepared by: _____

Change Request Description (include as much detail as possible): _____

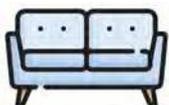
Approved Plans Effected (specify document and page number): _____

Notes:

- ***For changes that do not impact design drawings, specify N/A for Approved Plans Effected (eg paint color)***
- ***All other changes must include a new plan/drawing that reflects the requested change***

Please check any documents/attachments you have included as required:

-
- Updated elevation drawings
 - Updated landscape design plans
 - Updated site plan
 - Material change samples
 - Color change info: color name, color #, LRV #
 - Stain color change info: stain name, stain color
 - Tree removal (pictures)
 - Other attachments (please include any documentation you think would speed the approval process)
-



CONSTRUCTION GUIDELINES

WHO IS RESPONSIBLE

The owner of record for each property in Couch Mountain is ultimately responsible for compliance with the Covenants, Conditions and Restrictions, Design Guidelines and Construction Guidelines. The property owner is accountable for the actions of their builder as well as any and all subcontractors or others providing services to the specific lot.

BASIC RULES

The purpose of the HOA's builder rules is to ensure that the actions and behaviors of all construction personnel (builder, builder's employees, subcontractors, vendors and representatives) are in compliance with our goals of: 1) preventing property damage to our community's natural beauty, terrain, vegetation, infrastructure, other residents' real property and improvements; 2) preventing bodily injury to residents and anyone else while in our community; 3) creating safe worksites; and, 4) compliance with all governmental and regulatory agency laws, ordinances and rules.

It is the responsibility of the builder and its representatives to review and adhere to these requirements. Failure to abide by these rules will lead to fines, possible work stoppage and/or denial of access to the Community.

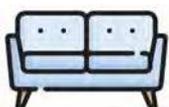
The Builder acknowledges and agrees:

- that the Builder and its representatives (employees, subcontractors, and material delivery vendors) must comply with these rules while performing any activity related to the project or while in the Community.
- that any violation of these Rules by the Builder, its employees, subcontractors, or material delivery vendor personnel may result in fines assessed against the Builder or the property owner, including work stoppage, and may result in the Builder, its employees, subcontractor or vendors being denied access to the Community.
- The Homeowners Association shall be notified immediately of all accidents, injuries, or other jobsite emergency occurrences within the community.

Construction Hours

Construction Hours are as follows:

- Monday - Friday 7:00 a.m. – 7:00 p.m. {or dusk}
- Saturday 8:00 a.m. - 6:00 p.m. {or dusk}
- Sunday **NO WORK PERMITTED UNLESS APPROVED IN ADVANCE BY THE DRC**
- No work is permitted on the following holidays unless approved by the DRC in advance:
 - New Year's Day
 - Memorial Day
 - 4th of July
 - Labor Day
 - Thanksgiving Day
 - Christmas Day
- Any Builder or subcontractors deviating from the allowed construction times will be warned on the first occurrence, fined on the second occurrence, and subject to stoppage of work on the third and any subsequent occurrences.



Construction Site and Community Safety

- All Builders will provide 24-hour Emergency Contact Phone Number(s) to be kept on file with the DRC.
- The Builder, its employees, subcontractors and delivery vendors must follow the HOA gate access procedures. (see 'Gate Access for Builders in Community' section).

Construction Site Signs

- One (1) temporary construction sign identifying the Builder, architect, and/or property owner may be installed within the property boundary.
- No sign shall be installed prior to final DRC approval to commence construction.
- The sign must:
 - Face the street, be installed no closer than 10 feet from the curb and shall not exceed six (6) square feet.
 - Be properly maintained by the Builder throughout the construction process.
 - Be removed prior to the issuance of the final certificate of occupancy.
- Subcontractor, material vendor, or other advertisement signs are prohibited.

Construction Activity Zone

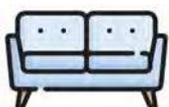
The Construction Activity Zone is the area in which all activities related to building a home must occur.

- No construction may take place outside of this area at any time.
 - U.S. EPA & NC EPA required runoff control features (i.e., silt fencing, straw, seeding, etc.) must be installed and maintained during the entire period of construction.
 - Removal of accumulated sediment prior to silt fences becoming 50% full and/or overflowing is required at all times throughout the construction process.
 - Contractor is required to place and maintain mulch, straw, and/or seed on all disturbed areas and dirt piles, no more than 7 days after any grading and excavation.
 - Surface water run-off must be mitigated by preventative use of river rock, rip-rap, fabric, drain pipes, and/or straw and seed to prevent erosion.
 - Dirt and debris are to be immediately removed from the base of trees and understory plants.
 - An open area is permitted to allow for deliveries to the site. Each home site must have a clearly defined construction access which must not encroach on protected site features such as tree root zones, rock outcroppings, and natural drainage swales.
 - Prior to the commencement of any earth disturbing operations, a stone construction entrance (mud mat) must be installed. The construction entrance shall:
 - If possible, be installed in the same location as the proposed driveway to minimize the disturbed area.
 - Extended a minimum of twenty (20) feet from the street (variances will be accepted for certain lots topographic constraints).
 - Always be maintained by the builder during construction to control dust, mud, and erosion.

Construction Site Parking – Vehicle Speed Limits

The Builder is responsible and accountable for the actions of their employees, subcontractors, and delivery personnel.

- Construction vehicles must park on the construction site itself, or on the paved street along one side of the road on the side where the project property is located. Parking on shoulders, adjacent lots, and common area(s) is not allowed.
- Vehicles or equipment shall not block any roadways or existing driveways. Vehicles should not be parked in front of existing homes, across from driveways of existing homes, or in any way impede access to existing homes.



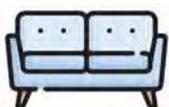
- Vehicles are not to use other property owners' driveways or lots, whether there is a house or not, as parking or turnaround points.
- Overnight storing or parking of equipment or vehicles on streets or vacant lots is prohibited.
- The HOA reserves the right to tow any vehicles that are parked in violation of these rules at Builder's expense.
- If the Builder needs to temporarily store or park any equipment or vehicles due to lack of access to the lot, a written request for permission must be made to the DRC 48 hours in advance.
- All equipment temporarily located in the street must be properly marked with hazard protection, flags, or cones as necessary.
- In the event loading or unloading materials and equipment must take place in curves, intersections, steep roads or blind driveways, flagmen and warning flags or cones must be used.
- All construction personnel shall adhere to the posted speed limit of 22 m.p.h. within the Community.

Construction Site Equipment and Materials

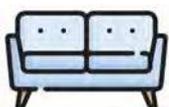
- Construction trailers or portable offices are not allowed within the community.
- Builders are responsible for providing adequate sanitary facilities for their workers on each home site at all times, in the form of a portable chemical toilet.
 - Portable chemical toilets may not be shared between job sites.
 - Portable chemical toilets shall be located as far back on the lot as possible yet still maintain service access.
 - The toilet door shall face away from the street.
- Construction debris bins (portable dumpsters) are required on all job sites.
 - A dumpster is required to be on site prior to the start of framing.
 - Dumpsters are not to be placed on adjacent lots, streets or common property.
 - Dumpsters shall be located or placed as far as possible from the street and neighboring property owner lots yet still permit ready service access.
 - Under no circumstance shall the unit be placed on or along the roadway.
 - Dumpsters shall be emptied as soon as any debris extends above the top of the dumpster.
- All construction material shall be stored only on the lot where the house is being constructed. Use of adjacent properties for storage is prohibited without the express written permission of the property owner. A copy of such permission must be sent to and approved by the DRC.
- All building materials, equipment, and machinery required to construct a residence on any home site must be delivered to and remain within the Construction Activity Zone of each home site, clear of all property lines.
- Material delivery vehicles may not drive across adjacent home sites or common areas to access a construction site or drop deliveries in a roadway right-of-way without specific approval from the DRC.

Construction Site Activity and Conduct

- All applicable OSHA and governmental agencies regulations must always be observed.
- No hazardous materials are allowed on construction sites or anywhere else within the Community.
- During excavation, filling, or stockpiling of soil on a lot, care must be taken to prevent erosion or wash-off.
- All job sites must be kept in a clean and orderly condition. Builders shall clean up all refuse and debris daily. All lightweight, blowable debris must be placed and covered in the dumpster.
- Concrete trucks and concrete contractors may washout only in areas designated by the Builder within the boundaries of that lot. All concrete washout, from both trucks and portable mixers, must occur within the building envelope of the home site. Washout in road rights-of-way, setbacks, natural areas or on adjacent properties is strictly prohibited.



- Dumping or washing of any concrete is not allowed anywhere within the Community except for the project lot where it must be removed {and not buried} prior to the end of the job.
- Dirt, mud, or debris resulting from activity or washout on each construction site must be removed daily from roadways.
- Due to the presence of bears and other wildlife, no food or food waste may be placed in the debris bin or left in an unsecured house overnight.
- All utilities and street signs located in the right-of ways of all community roads must be protected from damage by vehicles and equipment utilized by the Builder and their employees, subcontractors, and delivery personnel.
- The Builder agrees to make reasonable effort to control dust from the construction site. Builders should use cover materials or provide enough irrigation to eliminate any dust from encroaching on adjacent properties.
- Builders are prohibited from dumping, burying, or burning construction debris or vegetation on the home site or elsewhere in the Community.
- Debris or trash material removed from the construction site may not be relocated to any other location in the Community.
- Construction debris, dirt, cigarette butts, rocks, nails, screws, or litter shall be removed from the street(s) on all sides of the project lot at the end of each day.
- No construction debris shall be kept, stored, or placed around any tree trunk and all necessary measures shall be taken for tree preservation.
- Builders shall ensure that tall grass and weeds are periodically cut during construction to maintain a good appearance.
- All downed trees resulting from construction activity must be cleared from the property.
- Any tree removal after the Pre-Build Inspection must be approved by the DRC.
- Should blasting be required for work on any site, the appropriate local, county, state or federal permits and requirements are the responsibility of the Builder. Copies of all such permits and requirements are to be delivered to the DRC a minimum of seven (7) business days prior to commencing blasting work.
- Playing of loud music or excessive noise by construction personnel is strictly prohibited. The use of radios or other audio equipment must not be audible beyond the property perimeter of any home site in the Community. Violators will be issued one (1) warning. Continued violation could result in fines, work stoppage or denial of access to the community.
- No minors under the age of 16 years old and/or pets may be brought onto the property by anyone other than the property owner.
- Consumption of alcoholic beverages or illegal drugs and controlled substances by construction personnel on any job site, or in the Community property at large, is strictly prohibited.
- The possession or discharging of firearms on the property is prohibited. Builders, their representatives, and visitors to the Community are prohibited from the carrying of weapons, concealed or otherwise, regardless of whether the person has a license to carry a weapon, concealed or otherwise, from the State of North Carolina or any other authority. The Association hereby disclaims any and all liability from any harm and/or injury, personal, economic or otherwise, that may occur due to a violation of this policy.
- Changing of oil or discharge of any petroleum or chemical substance in the Community is strictly prohibited. Vehicles that leak oils and fluids must not be brought onto the Community property. If a leak occurs while on Community property, the Builder and its representative must ensure that the leak or spill is contained and cleaned up immediately.



Property Owner and Builder Construction Liabilities

It is the sole responsibility of the Builder to provide representatives with a copy of these Construction Site rules and ensure the rules are followed.

- Damage caused by Builder or any representative to any HOA infrastructure, adjacent properties or personal property is the responsibility of the Builder and must be repaired by the Builder to the original condition. Any costs incurred by the HOA to restore and return said property to its original condition must be reimbursed by the Builder.
- The property owner and/or Builder are responsible for the cost of any damage, site restoration/revegetation or refuse/brush removal on any adjacent properties or roadway rights-of-way resulting from construction activities.

Gate Access for Builders

It is the intent of the HOA to provide security and safety for our residents and property owners, while at the same time giving appropriate access to the Builders, sub-contractors, suppliers, and service providers in a simple and consistent manner.

- This process is provided to allow access to the community for approved Builders/Contractors, their employees, subcontractors and suppliers of goods and services in the completion of specified projects and other Builder/Contractor services as necessary.
- All means of access are granted after approved application to the HOA.
- Approved Builders must apply for access to the Community for each project approved by the DRC.
- Access for Builders and their representatives is only allowed by access code at the main entrance.
- The Builder may issue provided codes to their representatives.
- These codes are valid only for the duration of the project.
- The HOA reserves the right to change these access gate codes periodically at its discretion. The Builder will be advised at least five (5) days before the end of the month in which the current gate codes are to expire and change.
- If the Builder retains approval to build in the community, the access to the Community remains in place. This allows the Builder to have access for designers, surveyors and other service providers necessary to conduct concept development, preliminary design, and other activities outside of any scheduled construction activities.
- Gate access codes will not function outside of approved working hours.
- Gate access by any other means, such as following another vehicle through the gate, may result in the loss of access privileges.

UTILITY EASEMENTS

- To avoid harm to yourself or your contractors and damage to underground utilities, you are required to request that the locations of existing utilities be marked by calling 811. Additionally, the fiber optic communications line needs to be located by Skyrunner Internet (828) 258-8562. These requirements relate to any construction, including foundations, landscaping, fences, etc.
- Owners will be liable for any damage to underground utilities which may occur as a result of a failure to follow these procedures.

